

CITY OF MT. MORRIS
PLANNING COMMISSION AGENDA
November 29th, 2021
6:30 p.m.

- 1. MEETING CALLED TO ORDER:** Chairman Sara Black.
- 2. ROLL CALL**
- 3. APPROVAL OF AGENDA**
- 4. APPROVAL OF MINUTES:** Approval of October 18th, 2021 regular meeting minutes.
- 5. COMMUNICATIONS:**
 - a. None
- 6. PUBLIC COMMENT:**
- 7. UNFINISHED BUSINESS:**
 - a. None
- 8. NEW BUSINESS:**
 - a. **Public Hearing: 643 Walker St. / 630 W. Mt. Morris Rd. Conditional Use Permit**
 - b. **Action on Conditional Use Permit: 643 Walker St. / 630 W. Mt. Morris Rd.**
 - c. **Action on site plans for 643 Walker St. / 630 W. Mt. Morris Rd.**
- 9. PUBLIC COMMENT:**
- 10. UPDATES:**
 - a. None
- 11. PLANNING COMMISSION COMMENTS:**
- 12. ADJOURNMENT:**

PLEASE BE COURTEOUS TO OTHERS
SILENCE ALL CELL PHONES & OTHER DEVICES PRIOR TO THE MEETING

**CITY OF MT MORRIS
PLANNING COMMISSION
October 18th, 2021**

At 6:30 p.m., Chairperson Sara Black called the Planning Commission Meeting to order.

PRESENT: Marc Gauze, Chris Vogt, Sara Black, Yusef Harrold (arrived at 6:34), Sarah Young, Kenneth Andrews, Andrew Sorensen, City Manager/Treasurer Vicki Corlew and Mayor Jeffrey Roth.

ABSENT: None.

OTHERS: City Clerk Spencer Lewis.

ROLL CALL:

None.

APPROVAL OF AGENDA:

Chairperson Sara Black stated that the agenda needs to be amended to remove letters C and D, and that we would hold the next Planning Commission meeting on November 29th, 2021.

A motion was made by Chris Vogt, seconded by Mayor Jeff Roth to approve the agenda as amended.

All Ayes

Motion carried.

APPROVAL OF MINUTES:

A motion was made by Marc Gauze, seconded by Mayor Jeff Roth to approve the regular meeting minutes from September 20th, 2021.

All Ayes

Motion carried.

COMMUNICATIONS:

City Manager/Treasurer Vicki Corlew stated that the letter/article that was at the planning commission members seat was mailed in by someone. Also, the lighting plans go with the new plans for Walker St. that will be on the agenda for November's meeting.

PUBLIC COMMENT:

Dave Saltzman 11410 N. Saginaw – Dave stated that he is for the marijuana business.

Michael Kornblau 620 W. Mt. Morris – Michael stated he was here for the buildings going up on the old carwash property.

Chairperson Sara Black stated that was the amendment they made to the agenda, to push those items to the November 29th meeting.

UNFINISHED BUSINESS:

- a. None.

NEW BUSINESS:

a. Public Hearing: 11401 North Saginaw Conditional Use Permit

A motion was made by Mayor Jeffrey Roth, seconded by Chris Vogt to open the public hearing for 11401 North Saginaw St. Conditional Use Permit at 6:38 p.m.

All Ayes.

Motion Carried.

Michael Kornblau asked if they would receive another letter by mail when the new public hearing for the carwash properties when that happens?

City Manager/Treasurer Vicki Corlew stated yes.

A motion was made by Chris Vogt, seconded by Sarah Young to close the public hearing for 11401 North Saginaw St. Conditional Use Permit at 6:39 p.m.

All Ayes.

Motion Carried.

b. Action on 11401 North Saginaw Street Conditional Use Permit

Jason Ball from Rowe was present to review the conditional use permit process with the planning commission members.

City Manager/Treasurer Vicki Corlew questioned if the windows facing North Saginaw St. were going to be removed?

Samir Shango stated that from the inside it will be a wall, but from the outside, it will look like regular windows along North Saginaw St.

A motion was made by City Manager/Treasurer Vicki Corlew, seconded by Kenneth Andrews to approve the conditional use application from Star Budz Provisioning Center LLC for the property located at 11401 N. Saginaw based on the following findings of fact:

- The application appropriately addresses requirements of Section 9.20 Marijuana Establishments related to section A. Operational Limitations and Section B. Locational Limitations.
- The proposed marijuana retailer addresses Standard #1 because it is in harmony with the surrounding neighborhood and the location is appropriate due to the use having no greater impacts on the surrounding neighborhood than the previous use as a car dealership.
- The proposed marijuana retailer addresses Standard #2 because it does not create any additional hazards for the pedestrian and vehicle traffic as no changes to the parking lot or sidewalk are proposed.
- The proposed marijuana retailer addresses Standard #3 because the design and use will eliminate any possible nuisances through complying with applicable State of Michigan standards for marijuana facilities.
- The proposed marijuana retailer addresses Standard #4 because it will not unreasonably affect neighboring properties or their value due to no significant changes to the exterior of the building being proposed.
- The proposed marijuana retailer addresses Standard #5 because it will not place any additional demands on public services and facilities.
- The proposed marijuana retailer addresses Standard #6 because it will not create any risks to public health, safety, and welfare.
- The proposed marijuana retailer addresses Standard #7 because it will not cause injury or be detrimental to existing property and uses in the zoning district.

Roll call: ____ 9 ____ Ayes ____ 0 ____ Nays ____ 0 ____ Absent

Motion Carried.

c. Action on 11401 North Saginaw Street Site Plans

Jason Ball from Rowe was present to review the site plan review process with the planning commissions members.

Marc Gauze stated that he believes that the access to fire lanes should be addressed.

Fire Chief James Young stated that since the building and lot is already there it is grandfathered in with regards to the fire code/fire lane. He believes that with the property layout it would be hard to do an adequate fire lane and have parking spaces available.

A motion was made by City Manager/Treasurer Vicki Corlew, seconded by Sarah Young to approve the site plan application from Star Budz Provisioning Center LLC for the property located at 11401 N. Saginaw based on the following findings of fact:

- The application appropriately addresses requirements of section 9.20 Marijuana Establishments related to section C. Site Plan Requirements.
- The proposed marijuana retailer addresses Standard A. because sidewalks, walkways, driveways, parking areas and loading areas, and maneuvering lanes are designed to promote traffic safety and minimize conflicts.
- The proposed marijuana retailer addresses Standard B. because adequate transition areas and buffers are provided between land uses if the following conditions are addressed.
- The proposed marijuana retailer addresses Standard C. because there is no proposed increase to utility service demands.
- The proposed marijuana retailer addresses Standard D. because no changes to the parking or sidewalk are proposed.
- The proposed marijuana retailer addresses Standard E. because no hazardous substances are proposed to be stored or generated on site.

Further, in order to ensure compliance with these standards, the following conditions are part of my motion to approve:

- Revision of the site plan to provide for a solid, vinyl screening wall consistent with section 504.A.4 of the City of Mt. Morris Zoning Ordinance.
- Revision of the site plan to address ordinance requirements for lighting.

Roll call: ___ 9 ___ Ayes ___ 0 ___ Nays ___ 0 ___ Absent

Motion Carried.

PUBLIC COMMENT

Shirley Corcoran 657 Elm Street – Shirley stated she will be a neighbor of these gentleman, and was curious if the lighting/signage will be blinking all night like the Oberlin Motel?

DPW Superintendent Paul Zumbach stated that it should not be blinking/flashing and he will look into it.

Samir Shango stated that it will not be blinking.

UPDATES:

None.

PLANNING COMMISSION COMMENTS:

Yusef Harrold stated looking over the plans, he thought they were thorough and believes we addressed all the potential problems today.

Chris Vogt stated that he agrees with everything Yusef said, and that he thanks the business for wanting to invest in the city, and welcomes them.

Kenneth Andrews stated he is glad to see the business in the city.

Marc Gauze stated it is the beginning of a good future for the city.

Mayor Jeff Roth reminded the planning commission of the next meeting November 29th, 2021 at 6:30, and also thanked Jason Ball from Rowe for all the work he has done on these projects.

Sara Black also thanked Jason Ball for helping the planning commission.

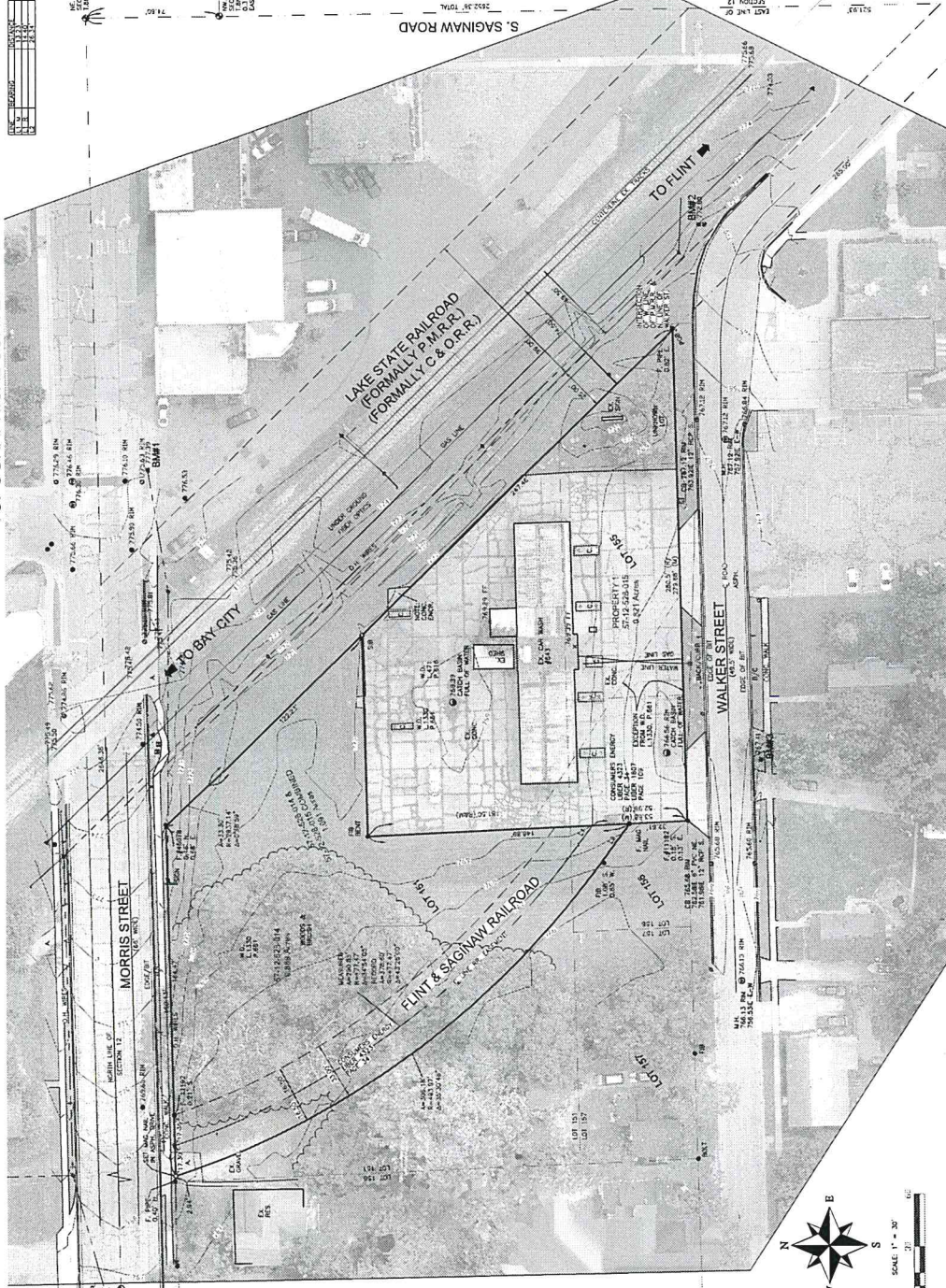
ADJOURNMENT:

With no further business, the meeting was adjourned at **7:25 p.m.**

City Clerk, Spencer Lewis

New Site Plans Received 11/19/21

TOPOGRAPHICAL SURVEY



BUILDERS/CONTRACTORS

- 1) A BUILDER ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS OF THE SURVEY DATA OR THE ACCURACY OF THE SURVEY RESULTS.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
- 3) THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.

NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.



Know what's below.
Call before you dig.

PROJECT COORDINATE SYSTEM
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (M GCS18)
(GRS83), SOUTH ZONE, INTERNATIONAL FEET, GRID.

NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.

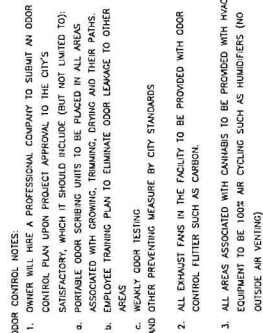
NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.

NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.

NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.

NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.

NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTNESS OF THE SURVEY DATA AND THE ACCURACY OF THE SURVEY RESULTS.

[illegible]

LOCATION:
643 Walker St &
630 W Mount Morris St
Mt Morris, MI 48458

DRAWN BY:
S.E.
M.A.

APPROVED BY:
ADNAN AL-SAAFI

REVISIONS:

SHEET TITLE

**RETAIL SPACES PROPOSED
FLOOR PLAN**

SEAL

[illegible]

PROJECT:
 -PROP. CANNABIS
 GROWING BUILDING
 -PROP. DISPENSARY AND
 MERCHANDISE SALES
 BUILDING

PROJECT:
 SAUR SHANGUO
 643 WALWORTH PROMISING
 CENTER
 643 WALWORTH ST/630 MI.
 DEARBORN, MI 48126
 MT MORRIS, MICHIGAN
 48158

LOCATION:
 643 Walworth St. &
 630 W Mount Morris St
 Mt Morris, MI 48158

A & M CONSULTANTS
 835 MASON ST.
 SUITE B-290,
 DEARBORN, MI 48126
 PH:(313) 582-0022
 FAX:(313) 582-0028

DRAWN BY:
 S.E.
 M.A.
 APPROVED BY:
 ADNAN AL-SHAHI

SUBMITTALS

REVISIONS:

11/18/2021

PROJECT NO

DATE

08/28/2021

SCALE

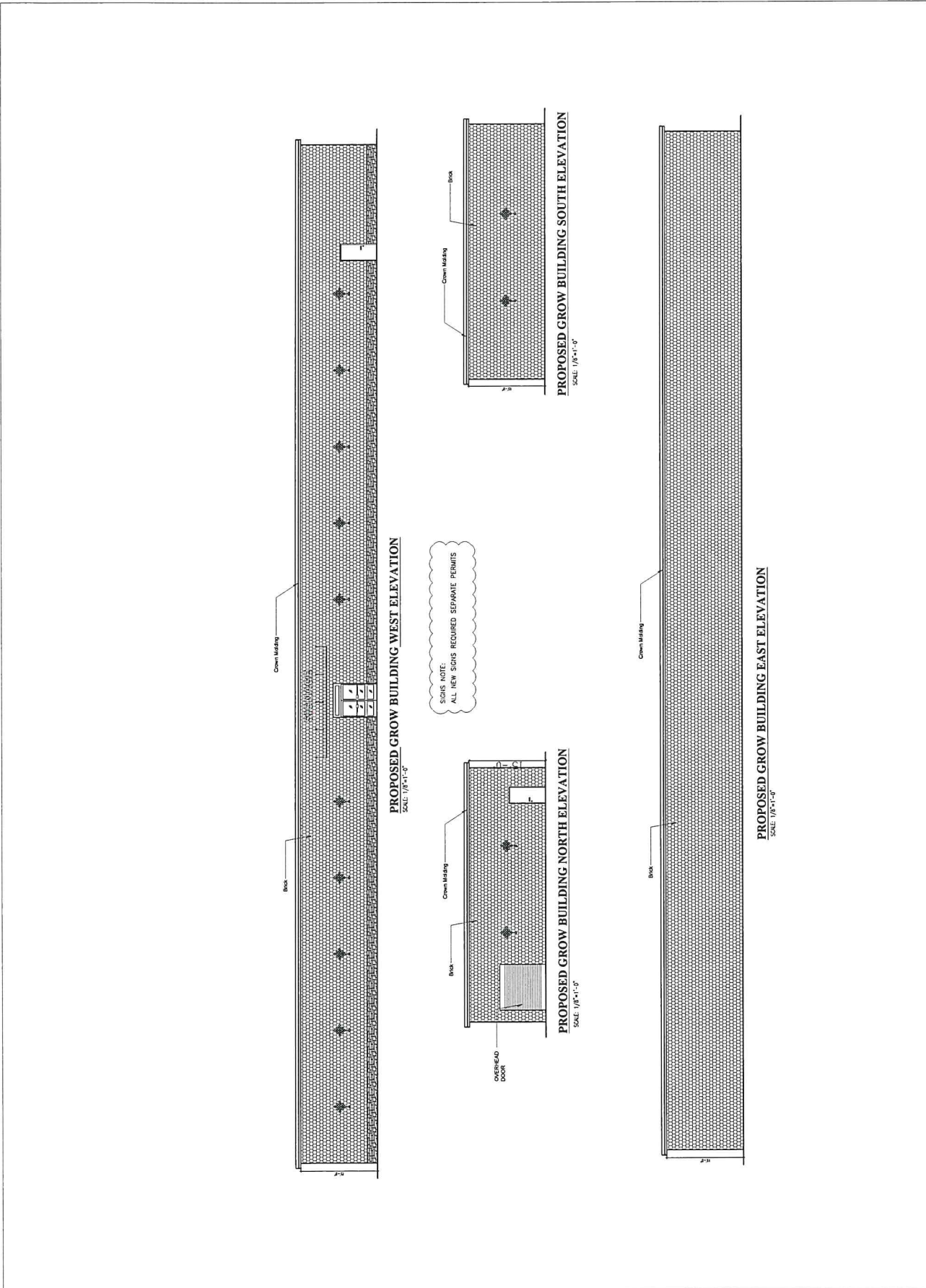
NOTED

SHEET TITLE

GROW BUILDING PROPOSED ELEVATIONS

A-03

SEAL



PROJECT:
-PROP. CANNABIS
GROWING BUILDING
-PROP. DISPENSARY AND
MERCHANDISING SPACES
BUILDING

PROJECT:
SAUR SHANGHAI
CENTRAL ASIAN PROMENADING
CENTER
643 WALDER ST./630 MT.
MORRIS, MICHIGAN
48458

LOCATION:
643 Walder St. &
630 W Mount Morris St
Mt Morris, MI 48458

A & M
CONSULTANTS
835 MASON ST.
SUITE B-290
DEARBORN, MI 48126
PH:(313) 582-0022
FAX:(313) 582-0028

DRAWN BY:
S.E.
M.A.

APPROVED BY:
ADNAN AL-SAKATI

SUBMITTALS

REVISIONS:

11/18/2021
PROJECT INQ

DATE
08/26/2021
SCALE
NOTED

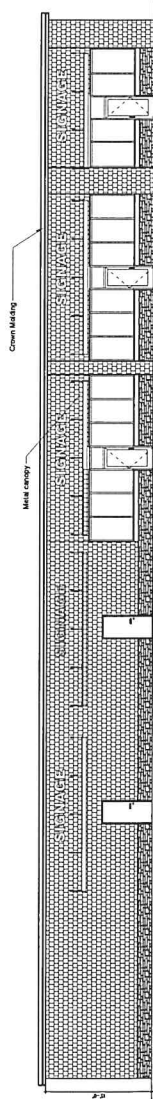
SHEET TITLE
DISPENSARY/PLAZA BUILDING
PROPOSED ELEVATIONS

A-04

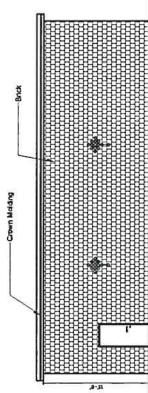
SEAL

STATE OF MICHIGAN
PROFESSIONAL ARCHITECT
No. 085194
ADNAN AL-SAKATI

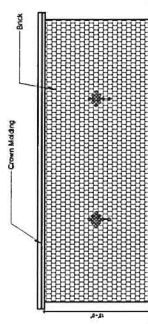
SIGNS NOTE:
ALL NEW SIGNS REQUIRED SEPARATE PERMITS



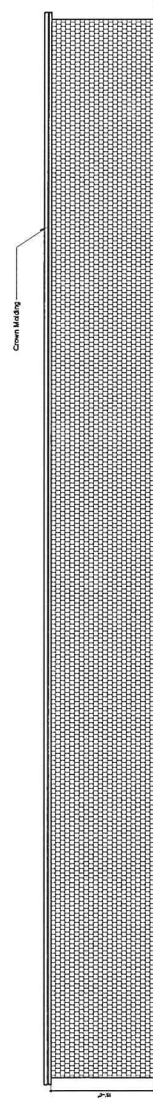
PROPOSED DISPENSARY/PLAZA EAST ELEVATION
SCALE: 1/8"=1'-0"



PROPOSED DISPENSARY/PLAZA SOUTH ELEVATION
SCALE: 1/8"=1'-0"



PROPOSED DISPENSARY/PLAZA NORTH ELEVATION
SCALE: 1/8"=1'-0"



PROPOSED DISPENSARY/PLAZA WEST ELEVATION
SCALE: 1/8"=1'-0"

PROJECT:
-PROP. CANNABIS
GROWING BUILDING
-PROPOSED SEWER AND
WASTEWATER TREATMENT
BUILDING

PROJECT:
OWN: CANNABIS
STAR BUILD PROVISIONING
CENTER
633 W. WALKER ST./430 MT.
MORRIS, MICHIGAN
48448

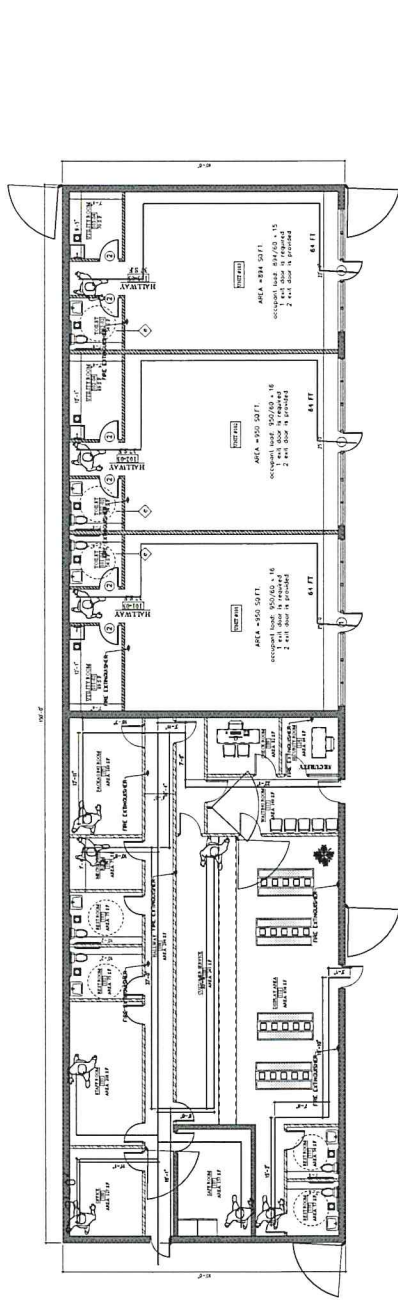
LOCATION:
643 Walker St. &
630 W Mount Morris St
Mt Morris, MI 48448

A & R CONSULTANTS
835 MASON ST.
SUITE B-290,
DEARBORN, MI 48126
PH:(313) 582-0022
FAX:(313) 582-0028

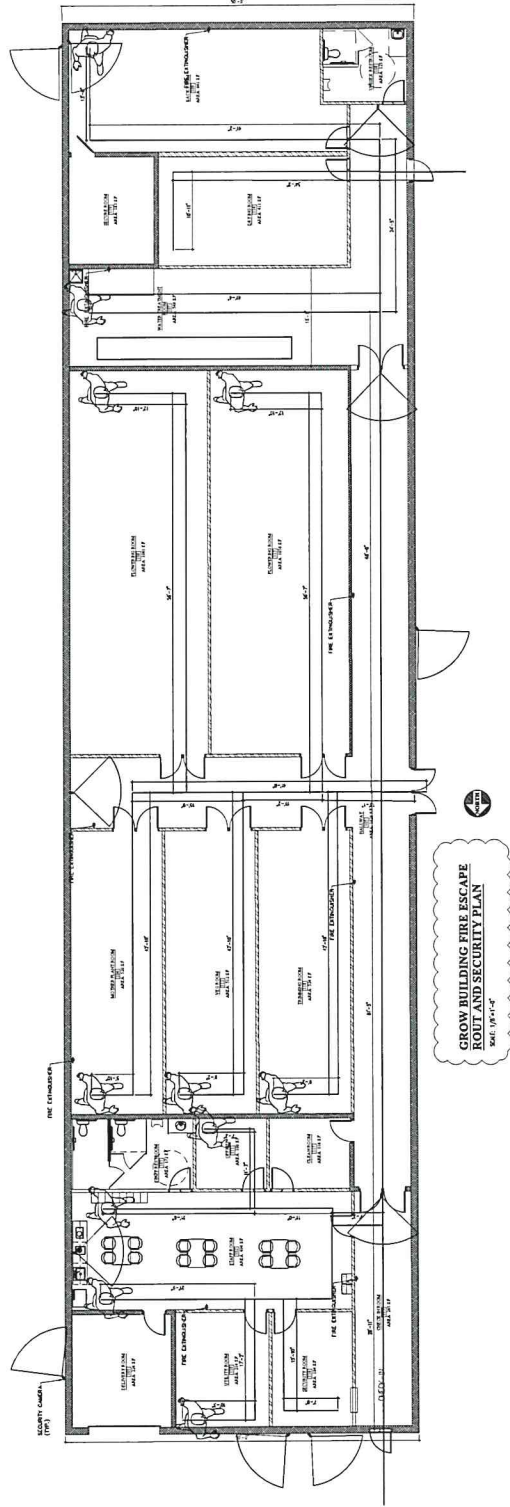
DRAWN BY:
S.E.
M.A.

APPROVED BY:
ADNAN AL-SAWAN

SUBMITTALS	
REVISIONS:	
	11/18/2021
	PROJECT NO.
	DATE
	08/26/2021
	SCALE
	NOTED
	SHEET TITLE
	- PROPOSED FIRE ESCAPE
	ROUTE
	- PROPOSED SECURITY PLAN
	A-05
	SEAL
	

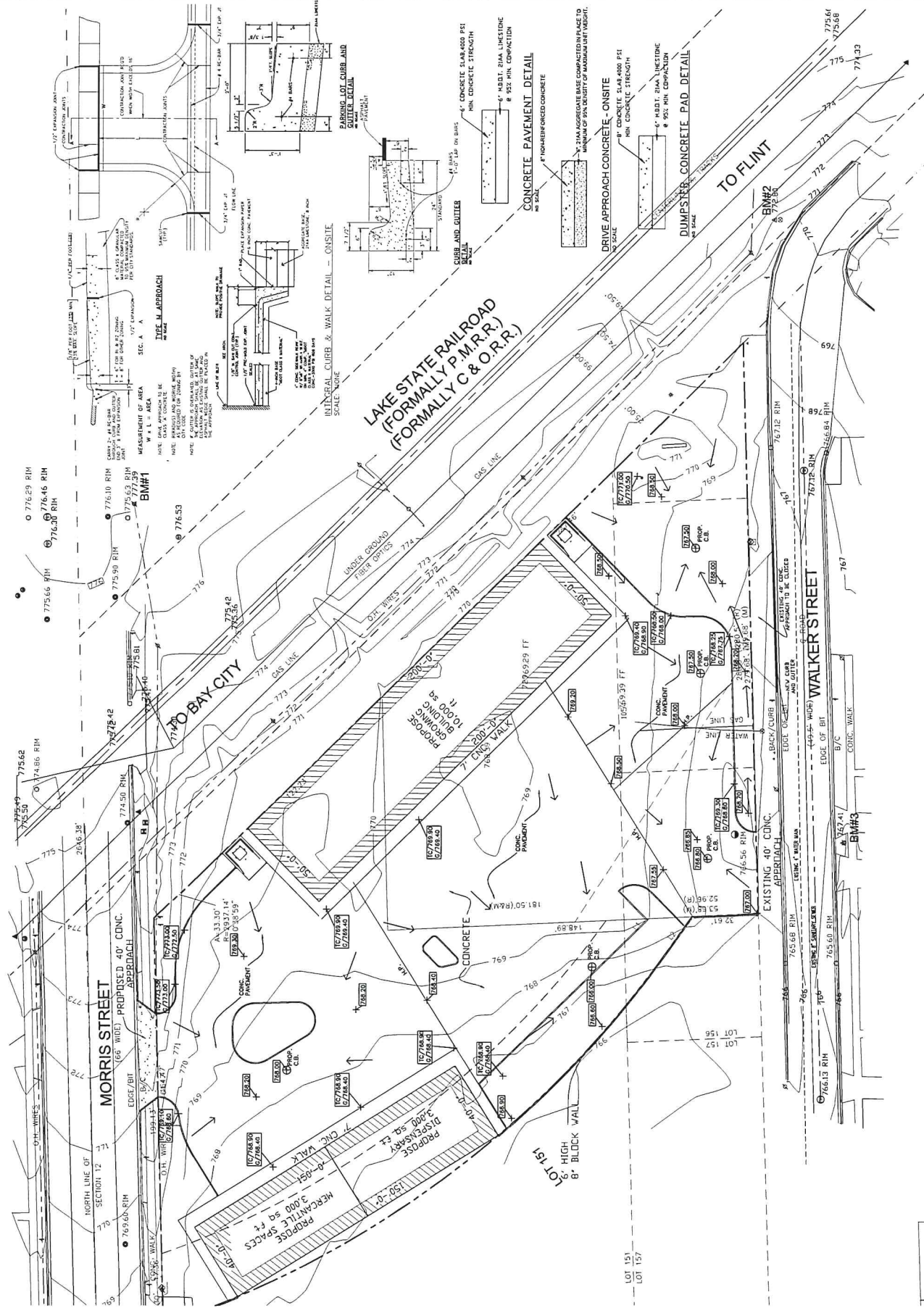


DISPENSARY/PLAZA FIRE ESCAPE
ROUTE AND SECURITY PLAN
SCALE: 1/8"=1'-0"



GROW BUILDING FIRE ESCAPE
ROUTE AND SECURITY PLAN
SCALE: 1/8"=1'-0"

ALL INFORMATION CONTAINED
HEREIN IS UNCLASSIFIED
DATE 07-12-2009 BY 60322



APPLICANT:
SAMIR SHANGO
STAR BUZZ PROVISIONING
CENTER
443 WALKER ST./630 MT.
MORRIS RD.
MT. MORRIS, MICHIGAN
48458

LOCATION:
643 Walker St &
630 W Mount Morris St
Mt Morris, MI 48458

335 WASON, STE B290
DEARBORN, MI 48124
PH: (313) 582-0022
FAX: (313) 582-0028

DRAWN BY:
M.A.
APPROVED BY:
ADNAN AL-SAATI

SUBMITTALS

REVISIONS:
11/18/2021

PROJECT NO.

DATE _____

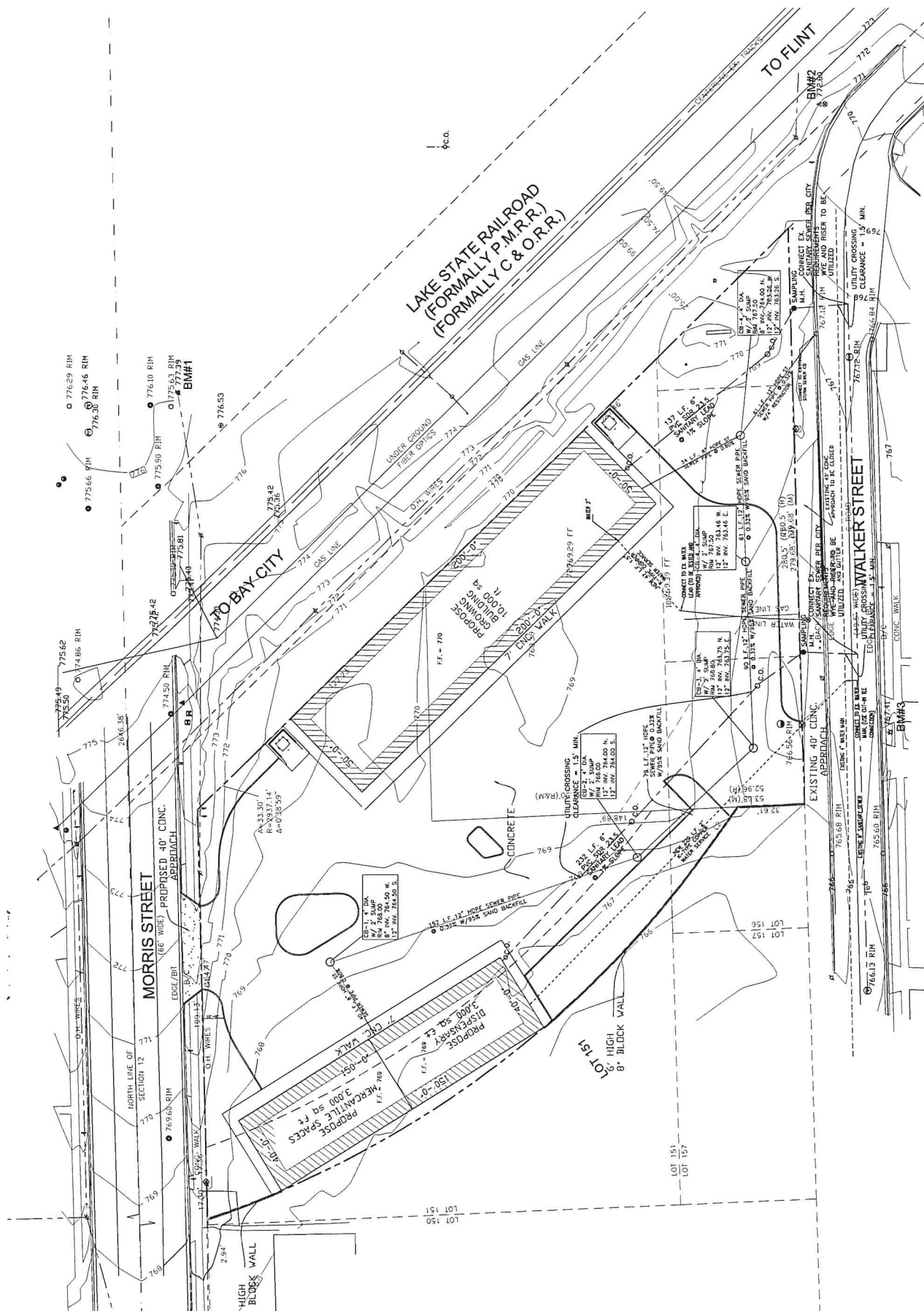
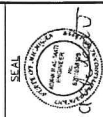
SCALE

SHEET NINE

DRAINAGE AND

STILL PLAIN

C-2



PROJECT:
-PROPOSED GROWING BUILDING
-PROP. DISPENSARY AND
-MERCANTILE SPACES
BUILDING

PROJECT:
SAMIR SHAMCO
STAR BUDZ PROVISIONING
CENTRE
643 WALKER ST./630 MT
MORRIS RD.
ANN ARBOR, MICHIGAN
48106

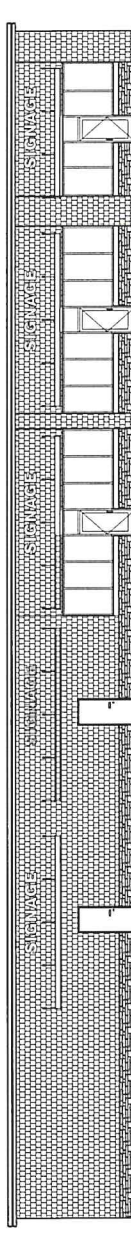
LOCATION:
643 Walker St. & St.
Mt. Morris, MI 48158

A. & M.
CONSULTANTS
300 W. MAIN ST.
SUITE B-201
DEARBORN, MI 48126
PH(313) 582-0033
FX(313) 582-0028

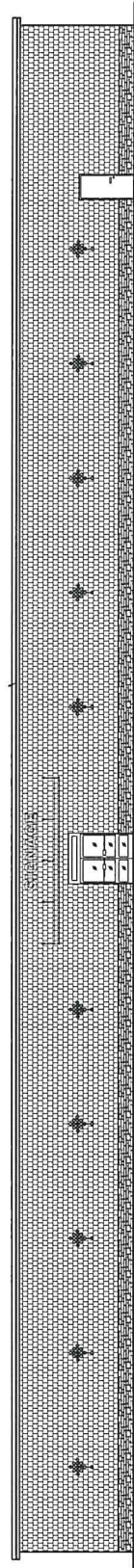
DRAWN BY:
S.E.

APPROVED BY:
ADNAN AL-SAAFI

SUBMITTALS	
REVISIONS:	
PROJECT NO	11/18/2021
DATE	10/13/2021
SCALE	NOTED
SHEET TITLE	COVER SHEET
SEAL	



PROPOSED DISPENSARY/ PLAZA FRONT VIEW



PROPOSED GROW BUILDING FRONT VIEW

DRAWING INDEX	
SHEET	TITLE
--	COVER SHEET
--	SURVEY
SP-01	EXISTING AND PROPOSED SITE PLAN
SP-02	SITE LIGHTING PLAN
SP-03	PROPOSED CIRCULATION PLAN
A-01	GROW BUILDING PROPOSED FLOOR PLAN
A-02	DISPENSARY/PLAZA BUILDING PROPOSED FLOOR PLAN
A-03	GROW BUILDING PROPOSED ELEVATIONS
A-04	DISPENSARY/PLAZA BUILDING PROPOSED ELEVATIONS
A-05	PROPOSED FIRE ESCAPE ROUT AND SECURITY PLAN
C-01	GRADING /PAVING PLAN
C-02	DRAINAGE AND UTILITY PLAN
CODES CURRENTLY IN EFFECT	
- 2015 MICHIGAN BUILDING CODE, MBC 2015	
- 2015 MICHIGAN MECHANICAL CODE MMC 2015	
- 2015 MICHIGAN PLUMBING CODE, MPC 2015	
- 2017 NATIONAL ELECTRICAL CODE W/STATE AMENDMENTS, NEC 2017	
- 2015 NFPA 101 LIFE SAFETY CODE	
- ACCESSIBILITY: MICHIGAN BARRIER FREE DESIGN LAW, P.A. 1966 AS AMENDED AND THE 2009 ICC/ANSI A117.1 STANDARD AS REFERENCED FROM CHAPTER 11 OF THE 2012 MICHIGAN BUILDING CODE.	

MICHIGAN BUILDING CODE 2015	
USE GROUP:	1ST BUILDING (RETAIL) - M (MERCANTILE) 2ND BUILDING (OFFICE) - B (BUSINESS)
CONSTRUCTION TYPE:	II-B
SPRINKLER SYSTEM:	N/A
TOTAL GROWING BUILDING AREA	10,000 SQ. FT.
TOTAL RETAIL BUILDING AREA	6,000 SQ. FT.
OCCUPANT LOAD:	
RETAIL SPACES/PLAZA AREAS:	
TOTAL RETAIL SPACES AREA:	6,000 SQ. FT.
TOTAL OCCUPANT LOAD:	6,000/60= 100
EGRESS REQUIRED: 1 EGRESS REQUIRED FOR EACH SPACE	
EGRESS PROVIDE: 1 OR MORE EGRESS PROVIDED FOR EACH SPACE	
GROWING BUILDING AREA:	
TOTAL AREA : 10,000 SQ. FT.	
OCCUPANT LOAD: = 30	
EGRESS REQUIRED: 2 EGRESS REQUIRED (1+500)	
EGRESS PROVIDE: 3 EGRESS PROVIDED	
EXIT TRAVEL DISTANCE: < 200' - NO SPARKLER SYSTEM REQUIRED	

PROPERTY DESCRIPTIONS	
SEE SURVEY SHEET	
ZONING:	C GENERAL BUSINESS DISTRICT
GOVERNING CODE:	MICHIGAN BUILDING CODE 2015, AND MT MORRIS ZONING ORDINANCE
SETBACKS:	
FRONT	DISPENSARY/PLAZA
80.5 FT (N) VARIANCE REQUIRED	16 FT (EAST)
68 FT (S)	130 FT (S)
0 FT (EAST)	0 FT (WEST) VARIANCE REQUIRED
LOT COVERAGE	
TOTAL LOT AREA	= 73,483 SQ.FT. = 1,689 ACrs
PROPOSED LANDSCAPE AREA	= 3,087 SQ. FT
OFF STREET PARKING:	PROPOSED 95 BKS
SEE SHEET A-1 AND A-2 FOR THE DETAILED REQUIREMENTS:	
TOTAL REQUIRED	95
TOTAL PROVIDED	95 (INCLUDING 4 BARRIERS FREE PARKING SPACES)

PROJECT:
-PROP. CANNABIS
GROWING BUILDING
-PROP. DISPENSARY AND
MERCANTILE SPACES
BUILDING

PROJECT:
SAULK SHAWCO
STAR BUILD THOMSONING
INDUSTRIAL PARK
643 WALKER ST./530 MT
MORRIS RD.
MORRIS, MICHIGAN
48145

LOCATION:
643 Walker St. & S1
Morris, MI 48145

A & M CONSULTANTS
835 NASH ST.
DEARBORN, MI 48126
PH(313) 582-0022
FAX(313) 582-0028

DESIGNED BY:
S.E.

APPROVED BY:
ADAM AL-SAWTI

SUBMITTALS

REVISIONS:

11/18/2021
PROJECT NO.
DATE
07/19/2021
SCALE
NOTED
SHEET TITLE
SITE PLAN

SP-1

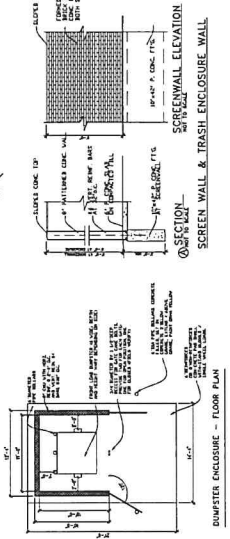
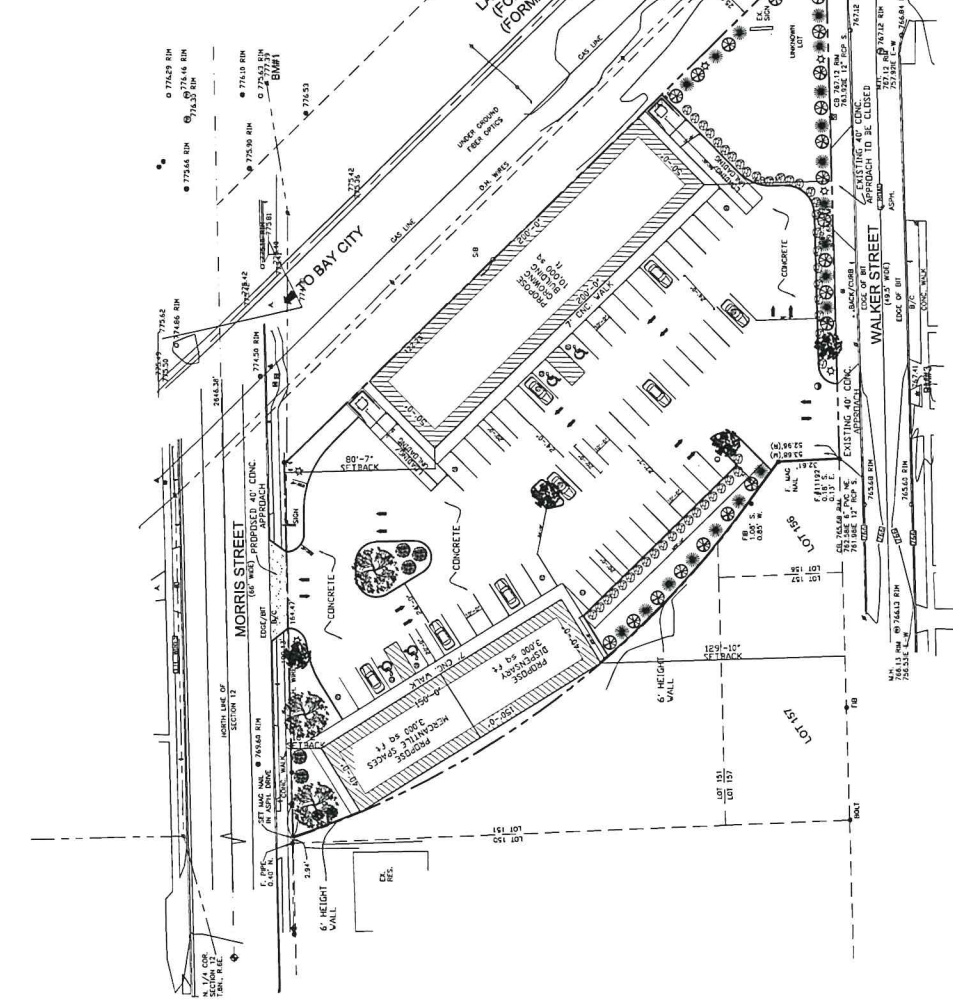
SEAL

11/18/2021

PROPERTY DESCRIPTION: SEE SURVEY SHEET	
ZONING: C-2 COMMERCIAL BUSINESS DISTRICT	
EXISTING BUILDING CODE: 2015	NEW BUILDING CODE: 2015
RETAIL:	DISPENSARY:
FOOTPRINT: 83.3 FT (N) VARIANCE REQUIRED 132 FT (S)	FOOTPRINT: 18 FT (N) VARIANCE REQUIRED 132 FT (S)
DEVELOPMENT: 6.77 (60%) VARIANCE REQUIRED	DEVELOPMENT: 6.77 (60%) VARIANCE REQUIRED
USE GROUP: 1ST BUILDING (RETAIL) - M (MERCANTILE) 2ND BUILDING (OFFICE) - B (BUSINESS)	
CONSTRUCTION TYPE: II-B	
SPRINKLER SYSTEM: N/A	
TOTAL GROWING BUILDING AREA: 10,000 SQ. FT.	
TOTAL RETAIL BUILDING AREA: 6,000 SQ. FT.	
OCCUPANT LOAD: RETAIL SPACES/PLAZA AREAS: TOTAL RETAIL SPACES AREA: 6,000 SQ. FT. TOTAL OCCUPANT LOAD: 6,000/60 = 100 EGRESS REQUIRED: 1 EGRESS REQUIRED FOR EACH SPACE EGRESS PROVIDED: 1 OR MORE EGRESS PROVIDED FOR EACH SPACE	
GROWING BUILDING AREA: TOTAL AREA: 10,000 SQ. FT. OCCUPANT LOAD: 30 EGRESS REQUIRED: 1 EGRESS REQUIRED (1-500) EGRESS PROVIDED: 3 EGRESS PROVIDED	
EXIT TRAVEL DISTANCE: < 200' - NO SPARKLER SYSTEM REQUIRED	

CODES CURRENTLY IN EFFECT

- 2015 MICHIGAN BUILDING CODE, MBC 2015
- 2015 MICHIGAN MECHANICAL CODE, MNC 2015
- 2015 MICHIGAN ELECTRICAL CODE, MEC 2015
- 2017 NATIONAL ELECTRICAL CODE, NEC 2017
- 2017 NATIONAL PLUMBING CODE, NPC 2015
- 2017 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 704 STANDARD AS REFERENCED FROM CHAPTER 11 OF THE 2017 MICHIGAN BUILDING CODE.



PROPOSED SITE PLAN
SCALE: 1"=40'-0"



ROWE PROFESSIONAL SERVICES COMPANY

Large Firm Resources. Personal Attention.™

MEMORANDUM

TO: City of Mt. Morris Planning Commission
FROM: Jason Ball, Senior Planner
Doug Skylis, Senior Project Manager
SUBJECT: 643 Walker Street and 630 West Mt. Morris Street
Conditional Use Application Review #2
DATE: November 23, 2021

This is a second review of an application to establish an adult use marijuana establishment on two separate parcels located at 643 Walker Street and 630 West Mt. Morris Street, parcel numbers 57-125-28-015 and 57-125-28-014. Ordinance Number 2021-03 requires an application for a Conditional Use Permit and submission for Site Plan Review for all marijuana establishments. Analyses of the request's compliance with City of Mt. Morris Zoning Ordinance provisions related to Conditional Uses, Site Plan Review, the regulation of marijuana establishments, and engineering and design components were completed on an original set of drawings submitted on October 13, 2021, for which ROWE provided a review letter on November 1, 2021, and a second set of drawings submitted November 19, 2021. Following is an update to the original review letter, with comments that were addressed by the applicant in the second set of drawings ~~struck~~ and comments that were not addressed noted in **bold**.

In summary, the site plan still lacks some information related to engineering components and presents potential issues due to the lack of setbacks on the western property line, proposed on-site lighting, and compliance with the City of Mt. Morris Marijuana Ordinance. In addition to the information noted below, the survey sheet notes a potential easement running through the site owned by Consumers Energy. The applicant should confirm the status of the easement and ability to build on the site prior to proceeding.

Missing Information

- **Section 7.03.J:** The site plan does not include any information regarding the dimensions, type, and lighting of proposed signs. **Comment has not been addressed.**
- **Section 7.03.S:** No fire lanes are indicated on the site plan. **Comment has not been addressed.**

Marijuana Ordinance Compliance

- **Section 9.20.A.7:** Licenses are not permitted on properties with "other approved uses". Applicant's site plan indicates the provision of "mercantile spaces" to be used for general retail or commercial uses. Applicant indicated compliance with this provision on its Adult Use Marijuana Establishment License Application, but the site plan appears to contradict the application. **Comment has not been addressed.**

Zoning Ordinance Compliance

- ~~Section 5.04.A.3.a:~~ The parking lot abutting the western lot line is required to have a 10-foot setback because the adjacent district is multi-family residential. The applicant will need to re-design the parking area or seek a variance due to the unique dimensions of the site.
- ~~Section 5.04.A.4:~~ A suitable screening wall is required on the western property line, as it adjoins property zoned for residential use. This could be addressed through construction of a wall or fence between 4 and 6 feet high, depending on planning commission approval. **Screening wall only needs to screen the parking area, not the entire building.**
- ~~Section 5.04.A.8:~~ The width and depth of parking spaces is not indicated on the site plan. Ninety-degree parking spaces are required to be 20 feet deep and 10 feet wide.
- ~~Section 5.04.A.10:~~ The site plan does not indicate the location of any fire lanes or other access for emergency vehicles. **Comment has not been addressed.**
- ~~Section 5.04.B.1:~~ The site plan does not indicate the location of any loading spaces or areas designated for loading or unloading. With the size of the proposed buildings, a loading space is not necessarily required by the ordinance, but it would seem to be necessary.
- ~~Section 5.05.A:~~ The site plan does not indicate the width or depth of parking spaces.
- ~~Section 5.05.D:~~ The site plan provides limited information regarding the proposed location of light fixtures. However, it does not indicate the type or height of light poles or the direction of lighting. Additional photometric detail would be helpful to ensure no lighting will affect neighboring properties. **Additional lighting detail has been provided, but the height of light posts and direction of lighting is not shown on the plan.**
- ~~Section 6.14 & 6.15:~~ The required setback on the western property line is 50 feet due to its location adjacent to a residential zoning district. The current site plan has no setback on the property line. Additionally, the required setback on the northern property line is the average of properties within 300 feet, which is approximately 30 feet. The proposed site plan setback is 16.2 feet. The applicant will need to revise the site plan or seek a variance due to the unique shape of the property to meet setback requirements. **Comment has not been addressed.**

Engineering Review

Cover Sheet:

- ~~None of the plan sheets (with the exception of the survey sheet) were sealed by a licensed professional.~~ Most sheets have now been sealed by a licensed professional.
- For clarity, the note under the center box titled Michigan Building Code 2015 should be revised to change the word "sparkler" to "sprinkler" if that is the intent. The same note appears on sheet SP-1 and should also be revised. **Comment has not been addressed.**
- ~~Parking calculations should also include the number of barrier-free spaces required and provided.~~ Parking calculations have been revised.

Sheet SP-1:

- The proposed concrete approach onto Morris Street shall be a Michigan Department of Transportation (MDOT) Type "M" opening where the gutter pan is constructed through the drive opening. **Comment has not been addressed.**
- ROWE questions the practicality of constructing the proposed buildings directly on the property line. How will the buildings be constructed without using the adjacent property? **Comment has not been addressed.**

- Sidewalk is required to be removed and replaced for the proposed drive approach. Additionally, the sidewalk shall be constructed through the drive approach and shall meet all Americans with Disabilities Act (ADA) requirements. **Comment has not been addressed.**
- ~~The applicant is proposing sidewalk along both buildings and proposed parking against it. Where parking abuts sidewalk, the minimum width of the sidewalk shall be 7 feet to allow for vehicle overhang. Proposed walk now labeled as 7 feet wide.~~
- The city will need to determine if sidewalk is required along the Walker Street frontage.
- The plan indicates the existing approach on Walker Street will be closed. This drive approach shall be removed, and the curb and gutter restored across the opening. **Comment has not been addressed.**
- ~~The city requires the parking lot to have curb and gutter. Curb lines have been added.~~
- This plan is deficient on dimensions indicating distances between parking and building areas, parking space sizes, and general layout data. Dimensions have been added.
- ROWE questions why the applicant is proposing to cover nearly the entire site with pavement. It would appear vehicle circulation could be better defined resulting in less pavement/impervious surface and creating more opportunities to promote storm water infiltration areas resulting in less storm water runoff. Proposed pavement area has been reduced.
- ~~The dumpster enclosure — Front elevation indicates a metal gate for the front. ROWE questions how a “metal” gate will provide adequate screening. Additionally, this detail shows “split face block to match building”, yet the adjacent screen wall elevation indicates the walls will be “formed integral brick patterned conc. Face”. The details should be revised to resolve the discrepancies. Detail has been revised.~~
- The proposed barrier-free parking spaces also require appropriate signs. Sign locations and details shall be provided. **Comment has not been addressed.**
- It appears there are multiple doorways in each of the proposed buildings which open outward onto the proposed sidewalk. ROWE questions if the proposed sidewalk should have stoops with frost-free footings to prevent the sidewalk from heaving and interfering with the doors. **Comment has not been addressed.**

Sheet C-1:

- ~~The approach detail refers to rebar per Wayne County detail, which needs to be revised. Additionally, this detail appears to assume the existing pavement in the road is concrete which may not be the case for this project. Detail has been revised.~~
- ~~Regarding the integral curb and walk detail, ROWE suggests expansion paper be placed between the proposed concrete pavement and the vertical portion of the proposed curb. Comment is a suggestion and not a requirement.~~
- ~~There is a detail for parking lot curb and gutter; however, based on the line work, it appears that only portions of the site will have curb and gutter. The entire site shall have curb and gutter. Proposed curb lines have been added to the site plan.~~
- ~~The curb detail calls for 4 inches of MDOT Class II material. Having sand under the proposed curb will be difficult to construct when the pavement is calling for aggregate base. The applicant should consider changing the proposed “cushion” material to 21AA limestone to be consistent with the pavement. Details have been revised to show proposed 21AA.~~
- ~~Since the applicant is proposing concrete pavement, ROWE questions if the curb and gutter will be integral with the proposed pavement. Since curb details show separate curb and gutter, ROWE assumes the curb and gutter will not be integral with the proposed concrete pavement.~~

- The proposed grading will be reviewed during the engineering plan review phase. The applicant will need to provide additional existing and proposed grades around the perimeter so we can confirm no water will be draining onto the adjacent properties. **To be addressed with engineering plan review.**
- The applicant will be required to provide storm water detention in accordance with the Genesee County Drain Commissioner's standards. Calculations will need to be submitted to confirm the requirements are being met. **To be addressed with engineering plan review.**

Sheet C-2:

- ~~Regarding the proposed sanitary sewer service leads, the applicant will be required to construct sampling manholes on each service lead. The manholes should be located in the right-of-way (ROW) of Walker Street if possible. Sampling manholes have been added.~~
- ~~Additional cleanouts will be required along the proposed sanitary sewer leads at intervals not exceeding 90 feet. Additional cleanouts have been added.~~
- The plans will also need to address how Walker Street will be repaired when constructing the service leads. Traffic control will also need to be addressed for the construction within a street ROW. **Comment has not been addressed.**
- The applicant will need to provide proposed water usage flow data and confirm the proposed water and sewer services are sized appropriately. **Comment has not been addressed.**
- The applicant is proposing to use the existing water service lead and extend to one of the proposed buildings. The Contractor will need to confirm if this lead is copper and if not, it will need to be replaced out to the water main. **Comment has not been addressed.**
- The existing water main on Walker Street is only 4 inches in diameter. The applicant should confirm with the City's Department of Public Works (DPW) that the available flow and pressure from this main is adequate for their intended use. **Comment has not been addressed.**
- ~~The proposed 2-inch diameter water service will require a curb stop and box to be located within the ROW of Walker Street. It appears a water shut off has been added to the plan.~~

Sheet SP-1a (sheet is now titled SP-2):

- This plan shows catalog data for two light options; however, it does not indicate how tall the proposed poles will be. Additionally, the applicant shall provide a photometric plan indicating the foot-candles of the proposed lights. **Comment has not been addressed.** ~~Light spillage off this site will need to be minimized. Note has been added regarding shielding lights.~~
- This plan is missing a legend indicating what type of light is being proposed at various locations. **Comment has not been addressed.**
- ROWE questions the proposed use of metal halide lights when LED lights have been the industry standard. **Comment has not been addressed.**

Sheet A-05:

- ~~Clearly these are two different buildings yet the titles under each of them are the same. This needs to be corrected to confirm which building the title apply towards. Building title has been revised.~~
- The applicant will be required to submit for and obtain approval from Genesee County Drain Commissioner's office for storm water drainage, water, and sanitary sewer services. **To be addressed with engineering plan review.**

Standards for Approval

Comments regarding the standards for approval of a Conditional Use and Site Plan, along with draft motion language will be included within final checklists provided to the planning commission for review.

We hope this analysis assists the city and applicant and provides for an expedited review process.

Attachments: Conditional Use Checklist
Marijuana Facility Checklist
Site Plan Review Checklist
643 Walker & 630 Mt. Morris Map

R:\Projects\19C0278\Docs\Planning and Zoning Services\Planning Commission\Special Land Use\643 Walker\643 Walker & 630 W. Mt. Morris Conditional Use Review Memo #2.docx

CITY OF MT. MORRIS

SITE PLAN REVIEW CHECKLIST

Applicant	Star Budz Provisioning Center LLC
Address	643 Walker St. & 630 W. Mount Morris St.
Parcel ID	57-12-528-015 & 57-12-528-014
Planning Commission Meeting Date	November 29, 2021

- ☒ Application complete, signed, and submitted.
- ☒ Application fee paid.
- ☒ **14** copies of the site plan provided to the City Clerk delivered at least 10 working days prior to PC meeting.

SITE PLAN INFORMATIONAL REQUIREMENTS SECTION 7.03

Requirement	Does Site Plan Include this Information?			
	Yes	No	N/A	Comment
A. Statistical data including: Number of dwelling units, size of dwelling units (e.g., 1-bedroom, 2-bedrooms, 3-bedrooms), if any, and total gross acreage involved. In the case of mobile home parks, the size and location of each mobile home site shall be shown. In all other cases, the location, type, horsepower, fuel, dimensions, and other data of all machinery to be used on the proposed site (to determine compliance with minimum lot size, maximum lot coverage and density requirements and parking requirements)..	X			Sheets A-01 and A-02
B. The location of principal and accessory buildings on the lot and the relationship of each structure to another (to determine compliance with setback requirements).	X			Sheet SP-1
C. Vehicular traffic and pedestrian circulation features within and without the site (to determine compliance with traffic access standards including adequacy of access, conflicts between vehicles and pedestrians, turning movement conflicts between the site and other nearby driveways).	X			Sheet SP-1
D. The location and dimensions of all off-street parking areas including maneuvering lanes, service lanes, off-street loading spaces, and other service areas within the development (to determine compliance with parking requirements).	X			Sheet SP-1
E. The location, dimensions, and proposed use of all recreation areas, if any (to determine compliance with standards related to compatibility with adjacent areas).			X	No proposed recreation areas.
F. The location of all proposed landscaping, fences or walls (to determine compliance with screening and landscaping requirements).	X			Sheet SP-1
G. The height and dimensions of all structures (to determine compliance with maximum height and lot coverage requirements as well as minimum building size requirements (residential) where applicable).	X			Sheets SP-1, A-03, and A-04
H. Front, rear, and side elevation of any typical structure proposed for development.	X			Sheets A-03 and A-04

SITE PLAN INFORMATIONAL REQUIREMENTS
SECTION 7.03

<i>Requirement</i>	<i>Does Site Plan Include this Information?</i>			
	<i>Yes</i>	<i>No</i>	<i>N/A</i>	<i>Comment</i>
I. The location and capacity of private or public water, sanitary services and solid waste disposal facilities servicing the site (to ensure compliance with the standard requiring adequate water and sewer service, and to prevent overloading the city's water or sewer system).	X			Sheet C-2
J. The location, dimensions, type and lighting of all signs (to ensure compliance with sign requirements).		X		Two signs shown on site plan, but no dimensions or lighting are shown.
K. The location, intensity and orientation of all lights (to determine compliance with requirements regarding lighting being directed off adjacent premises).	X			Sheet SP-1a
L. Buildings within 50 feet of the boundary of the site (to determine compliance with any setback standards linked to structures on adjacent lots, or in the case of a conditional use permit, to determine suitability of the site for the proposed use based on proximity of incompatible uses).	X			Sheet SP-1
M. Location of any identified wetlands (to comply with standards relating to protection of natural features and/or compliance with local, state and federal laws).			X	No wetlands are located on the site.
N. Outdoor storage or activity areas (to comply with standards relating to outdoor storage of material or outdoor activities).			X	None proposed
O. Existing and proposed grades at two-foot intervals (to determine any minimum or maximum grade requirements, clear vision requirements and height requirements).	X			Sheet C-2
P. Cross section showing construction of drives and parking area (to comply with requirements regarding pavement surface and adequacy of base material).	X			Sheet C-1
Q. Floor plan showing existing and proposed uses (to verify gross vs. usable floor area and principal vs. accessory uses).	X			Sheets A-01 and A-02
R. Location of trash receptacles (to determine compliance with ordinance requirements regarding location and screening).	X			Sheet SP-1
S. Designation of fire lanes (to determine compliance with fire code requirements).		X		No fire lanes shown on site plans.

The individual or body responsible for reviewing and approving a site plan may waive any of the requirements above either on an individual basis or by establishment of an administrative rule when the information is not needed to determine compliance of the site with the requirements of this appendix.

ARTICLE 3 GENERAL REQUIREMENTS

Requirement	Does Site Plan Meet the Requirement?			
	Yes	No	N/A	Comment
Sec. 3.09 Accessory Buildings				
A. Non-Residential Districts: Any part of a detached accessory building shall be at least fifty five (55) feet from any front lot line when the adjoining lot is located in a residential district.			X	
B. Residential Districts: No accessory building shall be erected in other than a side or rear yard. The garage or similar accessory building may be built up to within five (5) feet of the side and/or rear lot line; provided that such structure adjacent to such side or rear lot line is constructed to achieve the proper fire rating in compliance with the local building code. When the rear line of a corner lot abuts the side line of an adjoining lot in a residential district, no accessory building shall be within five (5) feet of such abutting lot line nor closer to the side street lot line than the setback of the principal building on the same adjoining lot. When the rear line of a corner lot abuts the rear line of any other lot or is directly across an alley therefrom, no accessory building shall be closer to the side street lot line than the setback of the principal building on the same lot.			X	
Sec. 3.10 Sight Distance. No obstruction to vision shall be permitted at the intersection of any street or road with another street or road or street or road junction between the heights of two feet and eight feet above centerline elevation of said streets or roads within the triangular area formed by the intersection of the street right-of-way lines and a line connecting two points which are located on those intersection right-of-way lines 25 feet from the point of intersection of the right-of-way lines.	X			Proposed driveways are an appropriate distance from other driveways and access the street effectively. Sheet SP-01.
Sec. 3.11 Lot Grades				
A. All structures shall be constructed or located with a ground elevation such as to provide a sloping grade to cause the surface drainage to flow away from the walls of such structures.	X			Sheet C-2.
B. Grades on any lot upon which new construction or earth movement is to be carried out shall be related to existing grades and drainage systems such as to provide adequate drainage and not jeopardize such existing drainage systems, and shall be approved by the zoning administrator and such other authorities having jurisdiction over such system.	X			Sheet C-2
Sec. 3.12 Curb Cuts and Driveways Curb cuts and driveways may be located only upon approval by the zoning administrator and such other county and state authorities as required by law; provided, however, such approval shall not be given where such curb cuts and driveways shall cause unreasonable increase in traffic hazards.	X			Sheet SP-1
Section 3.16 Private Roads			X	

ARTICLE 4 NONCONFORMING USES, STRUCTURES

Requirement	Does Site Plan Meet the Requirement?			
	Yes	No	N/A	Comment
Section 4.01 (A) Class A and B nonconforming uses			X	
Section 4.02 Nonconforming Structures			X	
Section 4.03 Nonconforming Lots of Record			X	

OFF-STREET PARKING REQUIREMENTS SECTION 5.01

Requirement	Does Site Plan Meet the Requirement?			
	Yes	No	N/A	Comment
A. All future development of land or expansion of existing uses shall meet these parking requirements:				
B. Off-street parking spaces for nonresidential uses in residential districts shall be located within a rear yard or within a side yard.			X	
C. Off-street parking for other than residential uses shall be either on the same lot or within 300 feet of the building it is intended to serve (or a distance approved by the planning commission), measured from the nearest point of the building to the nearest point of the off-street parking lot. Parking may not be located across Saginaw or Mt. Morris streets from the business it serves.	X			See sheet SP-1
D. The storage, maintenance or repair of merchandise, motor vehicles or other equipment on required off-street parking spaces is prohibited.			X	
E. For those uses not specifically mentioned, the requirements for off-street parking facilities shall be in accord with a use which the planning commission considers is similar in type.				Retail and business parking requirements are utilized.
F. When units of measurements determining the number of required parking spaces result in the requirement of a fractional space, all fractions over one-half shall be rounded up.				

OFF-STREET PARKING AND OFF-STREET LOADING SPACE REQUIREMENTS SECTION 5.02

Required*		Provided	
Off-Street Parking Spaces	49	Off-Street Parking Spaces	59
Off-Street Loading Spaces	2	Off-Street Loading Spaces	2

DESIGN REQUIREMENTS FOR OFF-STREET PARKING AND LOADING SPACES SECTION 5.04

Requirement	Does Site Plan Meet the Requirement?			
	Yes	No	N/A	Comment
A. Off-street parking lots spaces shall be laid out, constructed and maintained in accordance with the following requirements:				
1. No parking lot shall be construed without a zoning permit issued by the zoning administrator. Parking lots that are part of site plan approved by the Planning Commission do not require a separate zoning permit.			X	
2. Adequate ingress and egress to the parking lot shall be provided for vehicles by means of clearly limited and defined drives.	X			Sheet SP-1
3. Parking spaces shall be set back from abutting residential districts as follows:				
a. Where the parking lot abuts on side lot lines, the required setback shall be ten feet from the side lot lines.		X		Adjacent district is multi-family residential and there is no setback. Sheet SP-1.

DESIGN REQUIREMENTS FOR OFF-STREET PARKING AND LOADING SPACES

SECTION 5.04

Requirement	Does Site Plan Meet the Requirement?			
	Yes	No	N/A	Comment
b. Where the parking lot abuts on a contiguous common frontage in the same block, the required setback from the street right-of-way shall be equal to the residential required setback, or average of existing setbacks in the common block frontage, whichever is greater.			X	
c. Where the parking lot is across the street and opposite, with residential lots fronting on such streets, the required setback from the street right-of-way shall be equivalent to the opposite residential required setback.	X			Setback on the southern property line (Walker St.) is greater than the setback of residential properties across the street.
d. Where the parking lot abuts the rear lot line, the required setback shall be ten feet from the street lot line.			X	There is no rear lot line.
4. Where the parking lot boundary adjoins property zoned for residential use, a suitable screening wall shall be provided. Suitable ornamental fencing may be substituted for the screening wall with the approval of the planning commission. Said wall or fence shall not extend into the required front open space of abutting residential lots. The height of the wall or fence shall be at least four feet but no higher than six feet.	X			Sheet SP-1
5. All lighting for parking areas shall be limited to 20 feet in height and shall be directed away from and shielded from adjacent property and rights-of-way, especially residential areas, and shall be arranged to not adversely affect driver visibility on adjacent roads.	X			Sheet SP-2
6. The parking lot shall be drained to eliminate surface water in such a way as to preclude drainage onto adjacent property or toward buildings.	X			Sheet C-2.
7. The surface of the parking lot, including drives and aisles, except for the buffer strips, shall be constructed of concrete, bituminous asphalt or similar dustless and durable all-weather surface material.	X			Sheet C-2.
8. The parking facilities design and layout meets the minimum dimensional requirements:	X			Sheet SP-1
9. All parking lots shall meet Michigan Barrier Free parking space requirements.	X			Sheet SP-1
10. All parking areas (including loading and unloading areas) must provide for sufficient access for fire fighting and access by other emergency vehicles.		X		No fire lanes are shown on the plans.
B. Off-street loading spaces for specified land uses shall be provided in accordance with the following requirements:				
1. Retail uses. All retail sales facilities exceeding 10,000 square feet in floor area shall provide two loading spaces plus one loading space for each additional 30,000 square feet of floor area over 10,000 feet.	X			Sheet SP-3
2. Industrial uses. All industrial land uses shall provide one loading space for each 10,000 square feet of floor area, with a minimum of not less than two loading spaces.			X	
3. All loading spaces shall be located and designed to avoid creating traffic hazard to public use of all public rights-of-way.	X			Sheet SP-3

**OFF-STREET LOADING REQUIREMENTS
SECTION 5.05**

<i>Requirement</i>	Does Site Plan Meet the Requirement?			
	Yes	No	N/A	Comment
A. Each parking space shall consist of an area not less than ten feet wide by 20 feet deep; provided, however such dimensions shall be increased, when necessary, to permit safe ingress and egress thereto.	X			Sheet SP-1
B. Required off-street parking areas for three or more automobiles shall have individual spaces marked, and shall be so designed, maintained, and regulated that no parking or maneuvering incidental to parking shall be on any public street, walk, or alley, and so that any automobile may be parked and maneuvered without moving or damaging another.	X			Sheet SP-1
C. For purposes of rough computation, an off-street parking space and necessary access and maneuvering room may be estimated at 300 square feet, but off-street parking requirements will be considered to be met only when actual spaces meeting the requirements above are provided and maintained, or improved in a manner appropriate to the circumstances of the case, and in accordance with all ordinance and regulations of the city.	X			Sheet SP-1
D. Any lighting used to illuminate any off-street parking and loading area shall be so arranged so as to direct light away from adjoining property and streets.	X			Sheet SP-2 provides the location of lights and a note required lighting to comply with this requirement, but detail on the sheet is limited.
E. Off-street parking and loading areas shall be surfaced with asphalt, bituminous or concrete pavement, and shall be graded and drained to dispose of all surface water into the storm sewer system.	X			Sheet C-2
F. Any construction or rearrangement of existing drives which involve the ingress and/or egress of vehicular traffic to or from a public street shall be so arranged so as to insure the maximum of safety and the least interference with traffic upon said streets and shall be approved by the zoning administrator, in writing.	X			Sheet SP-3

**DISTRICT DIMENSIONAL REQUIREMENTS
SECTIONS 6.14 & 6.15**

Zoning District: C General Business

Proposed Use: Marihuana Retailer

<i>District Requirement</i>	<i>Ordinance Standard</i>	<i>Proposed Site Plan</i>
Minimum Lot Area (sq. ft.)	n/a	
Minimum Setbacks – Front (N)	Avg. of Properties w/in 300' (~30')	16.2'
- Front (S)	50'	68.08'
- Side (W)	50'	0'
- Side (E)	n/a	0'
Maximum Building Height (ft)	Within approved fire fighting capabilities	15'
Minimum Lot Width (ft.)	n/a	
Minimum Lot Depth (ft.)	n/a	
Maximum Lot Coverage (%)	n/a	
Maximum Number of Accessory Structures	n/a	
Maximum Height of Accessory Structures	n/a	

ARTICLE 9. DESIGN STANDARDS

<i>Requirement</i>	<i>Does Site Plan Meet the Requirement?</i>			
	<i>Yes</i>	<i>No</i>	<i>N/A</i>	<i>Comment</i>
Sec. 9.01. Adult foster care family and small group homes site design standards.			X	
Sec. 9.02. Adult foster care medium and large group homes site design standards.			X	
Sec. 9.03. Adult uses site design standards.			X	
Sec. 9.04. Cemeteries, municipal, denominational and private cemeteries site design standards.			X	
Sec. 9.05. Cluster subdivision site design standards.			X	
Sec. 9.06. Family day care home and group day care home site design standards.			X	
Sec. 9.07. Fire station and water tower site design standards.			X	
Sec. 9.08. Garden apartment and townhouse site design standards.			X	
Sec. 9.09. Home occupations site design standards.			X	
Sec. 9.10. Hospitals, sanitariums, clinics, nursing and rest homes and charitable institutions for human care site design standards.			X	
Sec. 9.11. Industrial park site design standards.			X	
Sec. 9.12. Mixed use site design standards.			X	
Sec. 9.13. Mobile home park site design standards.			X	
Sec. 9.14. Planned unit development site design standards.			X	
Sec. 9.15. Public parks, golf courses, country clubs, tennis courts, and similar recreational uses site design standards.			X	
Sec. 9.16. Radio and television station site design standards.			X	
Sec. 9.17. Shopping center site design standards.			X	
Sec. 9.18. Drive-thru facilities in central business district.			X	
Sec. 9.19. Wireless telecommunications towers and antennas.			X	

GENERAL STANDARDS FOR APPROVAL OF SITE PLANS
SECTION 7.06

<i>Standard</i>		Does Site Plan Include this Information?		
		Yes	No	N/A
A. Sidewalks and other walkways, driveways, parking areas, loading areas and maneuvering lanes will be designed to promote traffic safety, minimize turning movement conflicts, eliminate the stacking of cars within the public right-of-way, minimize vehicle/pedestrian conflicts, provide adequate access for fire, police, ambulance and other emergency services personnel, minimize the number of driveways with access onto major streets, promote adequate spacing between driveways, ensure adequate geometric design of streets and promote shared access.				
COMMENTS/FINDINGS OF FACT: <ul style="list-style-type: none"> The site plan provides for two driveways on the site, one to Mt. Morris St. and one to Walker St. Proposed parking areas and on-site circulation appear to meet ordinance standards. 				
Applicants Comments:	Planning Consultant Comments: The addition of additional landscaping and detail regarding onsite circulation in the second site plan submittal complies with ordinance requirements.	Planning Commission Comments:		
B. Adequate transition areas or buffers will be provided between land uses to minimize off-site conflicts due to noise, light, smoke, odor or other nuisances and to maintain physical attractiveness.				
COMMENTS/FINDINGS OF FACT: <ul style="list-style-type: none"> Adjacent parcels to the West are zoned for Multi-Family residential (RB) Other lot lines are adjacent to road rights-of-way or a railroad right-of-way The lot immediately adjacent to the West is vacant and currently owned by the Genesee County Land Bank, but an occupied residential property is extremely near to the property on the Northwest corner. The zoning ordinance requires a 50' side lot setback for commercial properties adjacent to residential properties. 				
Applicants Comments:	Planning Consultant Comments: The applicant will need to receive multiple variances from the ZBA to develop the parcel as proposed. The Planning Commission could choose to make this a condition of site plan approval.	Planning Commission Comments:		

**GENERAL STANDARDS FOR APPROVAL OF SITE PLANS
SECTION 7.06**

<i>Standard</i>			Does Site Plan Include this Information?		
			Yes	No	N/A
C. Utility service is adequate to serve the needs of the development. Water pressure and capacity are adequate to meet usage and fire fighting needs. Sewer lines are adequate to handle the increased flow projected by the land use, and the city has adequate treatment capacity at the county wastewater treatment plant. Storm water facilities are adequate to handle any increased water run-off, which will be minimized through the use of storm water retention and detention facilities when appropriate. The site shall be designed to ensure that there is no increase in runoff onto adjacent sites or that existing drainage patterns are harmed.					
COMMENTS/FINDINGS OF FACT:					
<ul style="list-style-type: none"> Applicant provided a detailed site grading and drainage plan. 					
Applicants Comments:	Planning Consultant Comments: See Engineering Review comments.	Planning Commission Comments:			
D. Physical improvements including sidewalks, drives and parking areas shall be built to adequate standards to minimize premature deterioration.					
COMMENTS/FINDINGS OF FACT:					
<ul style="list-style-type: none"> 					
Applicants Comments:	Planning Consultant Comments: See Engineering Review comments.	Planning Commission Comments:			
E. Sites at which hazardous substances are stored, used or generated shall be designed to prevent spill or discharges to the air, surface of the ground, groundwater, streams, drains or wetlands. Secondary containment for above ground storage of hazardous material shall be provided.					
COMMENTS/FINDINGS OF FACT:					
<ul style="list-style-type: none"> No hazardous materials are proposed to be stored on site. 					
Applicants Comments:	Planning Consultant Comments: N/A	Planning Commission Comments:			

Sample Motion to Approve:

I make a motion to approve the requested site plan for 643 Walker St. & 630 W. Mount Morris St based on the following findings of fact:

- The proposed site plan addresses Standard A because it provides adequate on-site circulation and meets parking design standards contained in the ordinance.
- The proposed site plan addresses Standard B because it provides adequate transition areas and buffers with adjacent land uses, including residentially-zoned properties.
- The proposed site plan addresses Standard C because existing utility services are adequate to serve the needs of the development.
- The proposed site plan addresses Standard D because proposed physical improvements are built to standards that will prevent premature deterioration.
- The proposed site plan addresses Standard E because there will be no hazardous substances stored on site.

Further, in order to ensure compliance with these standards, the following conditions are part of my motion to approve:

- Receiving a variance from section 6.14m and 6.14s of the City of Mt. Morris zoning ordinance for the required setback on the western side lot line and the northern front lot line from the Zoning Board of Appeals.
- Addressing additional comments in the November 23, 2021 Memorandum from ROWE Professional Services Company.

Sample motion to disapprove:

I make a motion to deny the requested site plan based on the following findings of fact:

- It does not comply with Standard B because of the lack of a transition area or buffer with adjacent residential zoning districts.
- It does not comply with Standard _____ because of...

Sample motion to postpone:

I make a motion to postpone the approval of the site plan until the next regular meeting to provide the applicant with the opportunity to provide the following information.

- Information on _____ to verify compliance with _____
- Information on _____ to verify compliance with _____

R:\Projects\19C0278\Docs\Planning and Zoning Services\Planning Commission\Site Plan Review\643 Walker CUP\643 Walker and 630 W Mt Morris Site Plan Review Checklist.docx

CITY OF MT. MORRIS

CONDITIONAL USE CHECKLIST

Applicant:	Star Budz Provisioning Center LLC
Property Address:	643 Walker & 630 W. Mount Morris St.
Parcel ID:	57-12528015 & 57-12528014
Planning Commission Meeting Date	November 29, 2021

GENERAL STANDARDS FOR APPROVAL OF CONDITIONAL USE SECTION 8.03

The Planning Commission shall review the particular circumstances of the conditional use request under consideration in terms of the following standards, and shall approve a conditional use request only upon a finding of compliance with each of the following standards, as well as applicable standards established elsewhere in this ordinance.

Standard	Does Site Meet Requirements		
	Yes	No	N/A
1. The proposed conditional use shall be of such location, size and character that it will be in harmony with the appropriate and orderly development of the surrounding neighborhood and/or vicinity and applicable regulations of the zoning district in which it is to be located.			

COMMENTS/FINDINGS OF FACT:

- The site is zoned C general business
- The proposed site plan requires combining two existing parcels into a single parcel.
- The site plan indicates a 10,000 square-foot grow building along with a 3,000 square-foot dispensary and 3,000 square feet for "mercantile spaces". The application submitted was for a retail, processing, and grow operation. It is unclear where the processing operation would occur. Applicant has indicated that the mercantile spaces would be general business spaces for lease, not necessarily associated with a marijuana use.
- The proposed new parcel would be considered at "Through Lot" meaning both sides of the lot facing the street would be considered front yards and must conform with front yard setback requirements.
 - The front yard setback is the average of buildings within 300'. The three buildings within 300' of the northern front lot line have each have approximate front setbacks of 30'.
 - No buildings are within 300' of the southern lot line, making the required setback 50'.
- The side lot setback to the west is required to be 50' due to the adjacent residential zoning district. The site plan proposes a 0' setback.
- The revised site plan provide effective buffering, screening, and landscaping.

Applicants Comments:	Planning Consultant Comments: The location of the site is a transitional area between the City of Mt. Morris' main commercial district and adjacent residential areas. The proposed layout of the site will require two variance from setback requirements by the Zoning Board of Appeals.	Planning Commission Comments:
----------------------	---	-------------------------------

Standard		Does Site Meet Requirements		
		Yes	No	N/A
2. The proposed use shall be of a nature that will make vehicular and pedestrian traffic no more hazardous than is normal for the district involved, taking into consideration vehicular turning movements in relation to routes of traffic flow, proximity and relationship to intersections, adequacy of sight distances, location and access of off-street parking and provisions for pedestrian traffic, with particular attention to minimizing child-vehicle interfacing.				
COMMENTS/FINDINGS OF FACT: <ul style="list-style-type: none"> Both proposed driveways are less than 500' from Saginaw St., from which the majority of traffic will be generated. There is a newly proposed sign near the northern driveway into the property, but the site plan does not provide any detail regarding the sign's height or structure. 				
Applicants Comments:	Planning Consultant Comments: The addition of the use is consistent with commercial and public/institutional uses in close proximity. The proposed sign on the northern portion of the property may pose a potential hazard. Additional detail regarding the sign's proposed structure and size should be provided.	Planning Commission Comments:		
Standard		Does Site Meet Requirements		
		Yes	No	N/A
3. The proposed use shall be designed as to the location, size intensity, site layout and periods of operation of any such proposed use to eliminate any possible nuisance emanating there from which might be noxious to the occupants of any other nearby permitted uses, whether by reason of dust, noise, fumes, vibration, smoke or lights.				
COMMENTS/FINDINGS OF FACT: <ul style="list-style-type: none"> The applicant submitted detail odor control and operational plans to meet requirements for marijuana facilities in the City of Mt. Morris as well as to comply with state licensing requirements. The submitted lighting plan complies with ordinance standards but is very basic. 				
Applicants Comments:	Planning Consultant Comments: The detail provided regarding odor control and hours of operation are adequate to meet ordinance standards. The lighting plan would benefit from additional detail regarding the type of lights to be located in particular areas, as well as the height of light poles.	Planning Commission Comments:		

Standard		Does Site Meet Requirements		
		Yes	No	N/A
4. The proposed use shall be such that the proposed location and height of buildings or structures and location, nature and height of walls, fences and landscaping will not interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value.				
COMMENTS/FINDINGS OF FACT: <ul style="list-style-type: none"> The site only borders property on the western lot line. The adjacent property has an uncommon shape due to a historical railroad easement that will make future development challenging. 				
Applicants Comments:	Planning Consultant Comments: The zoning ordinance requires screening for parking that borders a residential district, which the western lot line of the proposed development does. Proposed screening is adequate, but the proposed building has no setback from the lot line, which violates ordinance requirements.	Planning Commission Comments:		
Standard		Does Site Meet Requirements		
		Yes	No	N/A
5. The conditional use shall not place demands on public services and facilities in excess of current capacity.				
COMMENTS/FINDINGS OF FACT: <ul style="list-style-type: none"> No excessive demands on public services or facilities are anticipated. 				
Applicants Comments:	Planning Consultant Comments: N/A.	Planning Commission Comments:		
Standard		Does Site Meet Requirements		
		Yes	No	N/A
6. The proposed use shall be so designed, located, planned and operated that the public health, safety and welfare will be protected.				
COMMENTS/FINDINGS OF FACT: <ul style="list-style-type: none"> The applicant submitted detail odor control and operational plans to meet requirements for marijuana facilities in the City of Mt. Morris as well as to comply with state licensing requirements. 				
Applicants Comments:	Planning Consultant Comments: N/A	Planning Commission Comments:		

Standard		Does Site Meet Requirements		
		Yes	No	N/A
7. The proposed use shall not cause substantial injury to the value of other property in the neighborhood in which it is to be located and will not be detrimental to existing and/or permitted land uses in the zoning district.				
<p>COMMENTS/FINDINGS OF FACT:</p> <ul style="list-style-type: none"> The only immediately adjacent property is owned by the Genesee County Land Bank Authority. One residential property is in close proximity, properties across rights-of-way are commercial or public/institutional in nature. The site plan provides for parking lot islands, landscaping, or other features that enhance the overall appearance of the site. 				
Applicants Comments:	Planning Consultant Comments: The addition of landscaping features to the southern and northern boundaries of the property, while maintaining vehicular circulation will help to maintain and enhance adjacent property values.	Planning Commission Comments:		

Sample Motion to Approve:

I make a motion to approve the requested conditional use at 643 Walker & 630 W. Mount Morris St. based on the following findings of fact:

- The proposed conditional use addresses Standard 1 because the proposed development and site design are in harmony with the surrounding neighborhood and applicable regulations of the C general business zoning district.
- The proposed conditional use addresses Standard 2 because parking area design and proposed vehicular movements will not provide any hazards greater than the rest of the district.
- The proposed conditional use addresses Standard 3 because proposed systems for odor control, lighting, and the hours of operation will eliminate potential nuisances.
- The proposed conditional use addresses Standard 4 because the location of buildings, landscaping, and other features will not discourage other uses or unreasonably affect their value.
- The proposed conditional use addresses Standard 5 because it will not place any excessive demands on public services or facilities.
- The proposed conditional use addresses Standard 6 because it will protect the public health, safety and welfare based on plans submitted by the applicant to meet standards for marijuana facilities.
- The proposed conditional use addresses Standard 7 because it provides adequate site design and features to prevent injury to other property in the neighborhood and will not be detrimental to existing or permitted land uses.

Further, in order to ensure compliance with these standards, the following conditions are part of my motion to approve:

- The applicant combines the two parcels included on the site plan into a single parcel.
- The applicant receives variances from the Zoning Board of Appeals from setback requirements in the C General Business District.
- The applicant removes the spaces currently listed as “mercantile spaces” on the site plan to conform with section 9.20.A.7 of the Zoning Ordinance.

Sample motion to disapprove:

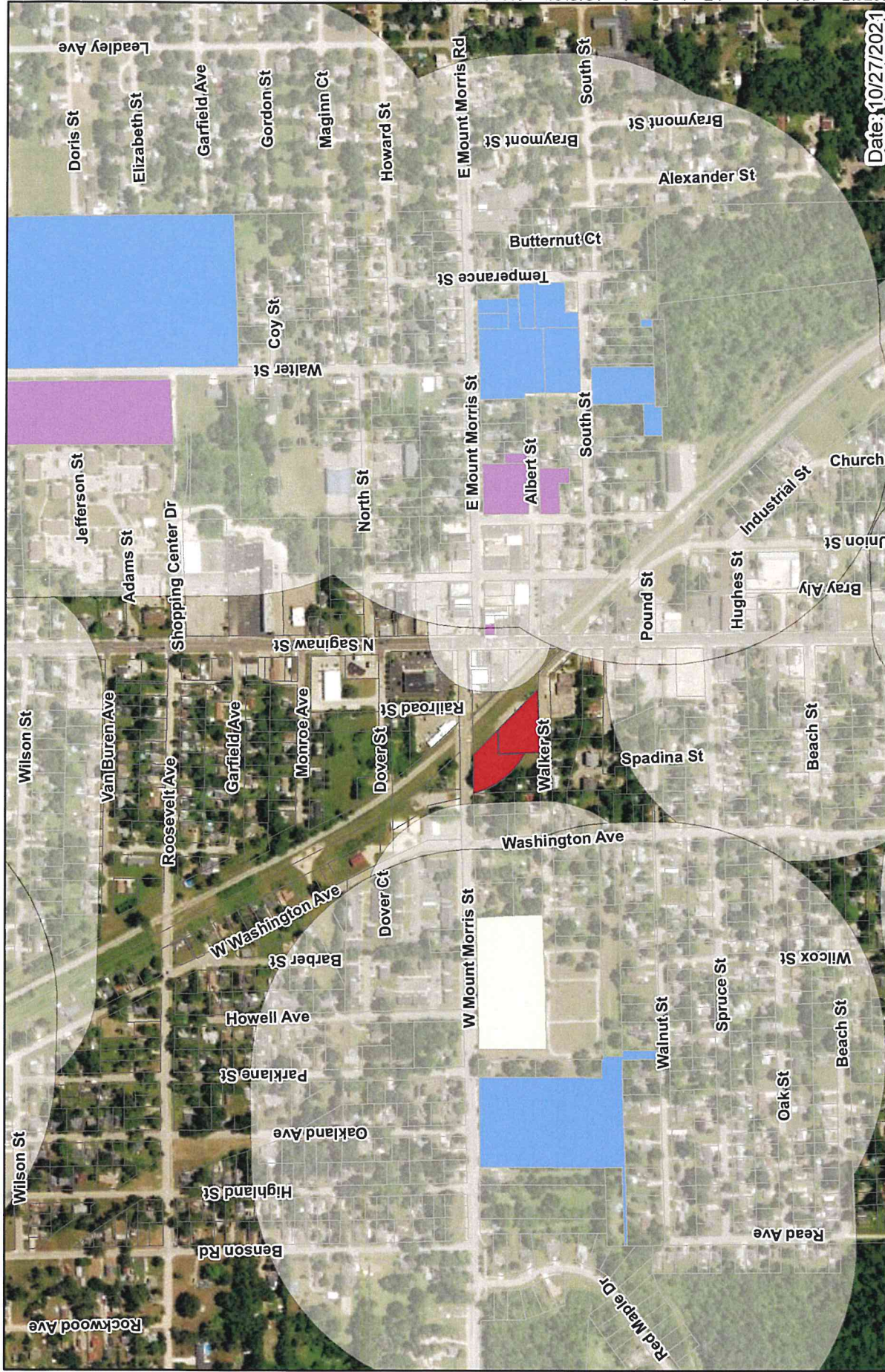
I make a motion to deny the requested conditional use based on the following findings of fact:

- It does not comply with Standard #1 based on failing to meet the required side yard setback and a lack consistency with the character of adjacent residentially-zoned property.
- It does not comply with Standard #_____ based on ...

Sample motion to postpone:

I make a motion to postpone the approval of the conditional use until the next regular meeting to provide the applicant with the opportunity to provide the following information.

- Information on _____ to verify compliance with _____
- Information on _____ to verify compliance with _____



Date: 10/27/2021

ROWE PROFESSIONAL SERVICES COMPANY



540 S. Saginaw Street, Suite 200
Flint, MI 48502

0 220 440 880 Feet



Legend

	Subject Properties		Schools
	Loc. Buffer 2		Churches
	Parcels		Parks